Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

2. Commitments for single dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✔	✔	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✔	✔
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✔	✔
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✔ ✔	✔ ✔
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✔	✔	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✔	
(g) The pool or spa must be located as specified in the table.	✔	✔	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✔	✔	✔

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 4.5 but <= 6 L/min)	4 star	4 star	4 star	no	-	-	-	-	-	-	-	-	-

	Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
1	individual water tank (no. 1)	Tank size (min) 1000.0 litres	To collect run-off from at least: 100.0 square metres of roof area; 0.0 square metres of impervious area; 0.0 square metres of garden and lawn area; and 0.0 square metres of planter box area.	yes	yes	yes	no	no
All other dwellings	individual water tank (no. 2)	Tank size (min) 1000.0 litres	To collect run-off from at least: 100.0 square metres of roof area; 0.0 square metres of impervious area; 0.0 square metres of garden and lawn area; and 0.0 square metres of planter box area.	yes	yes	yes	no	no

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✔	✔	✔
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✔	✔

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✔	✔
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✔	✔
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✔	✔	✔
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✔ ✔	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✔ ✔ ✔	✔
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✔	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✔	✔	✔

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 5.5 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/ toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
All dwellings	airconditioning ducting only	airconditioning ducting only	airconditioning ducting only	airconditioning ducting only	4	3	yes	yes	yes	yes	3	yes

	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	electric cooktop & electric oven	-	yes	-	-	-	no	yes

	Alternative energy
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	-

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔
(i) The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate.	✔		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✔	

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
1	22.5	22.9
All other dwellings	34.6	25.4

	Construction of floors and walls				
Dwelling no.	Concrete slab on ground(m²)	Suspended floor with open subfloor (m²)	Suspended floor with endclosed subfloor (m²)	Suspended floor above garage (m²)	Primarily rammed earth or mudbrick walls
All dwellings	94	-	-	16	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✔	✔
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✔	✔	✔
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✔	✔	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✔	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✔	✔
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✔	✔

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✔	✔
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✔	✔
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✔	✔	✔

FINISHES & NOTATIONS LEGENDS

CR/P	CEMENT RENDERED AND PAINTED
OGL	OPAQUE GLAZING
GL	ALL FRAMED GLAZING
GB	GLASS BALUSTRADE
MB	METAL BALUSTRADE
MR	METAL / COLOURBOND ROOF
BR	BRICK
DP	COLOURBOND DOWNPIPE CONNECTED
TR	TILED ROOF
j	JOINERY
(e)	EXISTING
NGL	NATURE GROUND LEVEL
RL	REDUCED LEVEL
FL	FLOOR LEVEL
AFFL	ABOVE FINISH FLOOR LEVEL

DRAWING LIST

DA00	COVER	A
DA01	SAFETY NOTES	A
DA02	SITE PLAN	A
DA03	SEDIMENT_CONTROL	A
DA04	SUB-DIVISION PLAN	A
DA05	DEMOLITION PLAN	A
DA06	GROUND FLOOR PLAN	A
DA07	L1 FLOOR PLAN	A
DA08	ELEVATIONS	A
DA09	ELEVATIONS + SECTION	A
DA10	DOOR &WINDOW SCHEDULE	A
DA11	FINISHING SCHEDULE	A
DA12	SHADOW DIAGRAM	A

DEVELOPMENT APPLICATION AT
No. 7 OGMORE COURT BANKSTOWN
LOT 4 IN DP 29530

SAFETY NOTES FOR ALL INVOLVED IN THE PROJECT
(included: Owner, Builder, Sub-contractors, Consultants, Renovators, Operators, Maintenors, Demolishers)

1. FALLS, SUPS, TRIPS

A_WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

B_ SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES by Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishing in the pedestrian trafficable areas of this building. Surface shouldbe selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction o maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4, Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted

3.TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road:

Parking of vehicles or loading/ unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workes and loading areas should be provided. Traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/ unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/ unloading areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service {such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag.

All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6.HAZARDOUS SUBSTANCES

ASBETOS

For alterations to a building constructed prior to 1990:

If this exising building was constructed prior to:

1990- it therefore may contain asbestos

1986- it therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take approproate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish.

Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified:

This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

For non-residential buildings where the end-use is known:

This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at o later date a further assessment of the workplace health and safety issues should be undertaken.

10.0THER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

0 1 2 3 4 5

issue

rev	date	description
A	26/10/2022	

remember

The Contractor shall verify all dimensions & levels on the site.
Written dimensions to take preference over scaled dimensions.
Documents & design remain the copyright of the Architect & cannot be reproduced without written consent.

about

HARRYDESIGNSTUDIO PTY LTD
ABN 68814733204
bdaa ACCREDITED BUILDING DESIGNER

add 2/ 36 boronia st, kensington, nsw 2033
phone +61 490 334 341
email info@harrydesignstudio.com
website www.harrydesignstudio.com
bdda acc. no 6602

project

SAFETY NOTES

No. 7 OGMORE COURT
BANKSTOWN

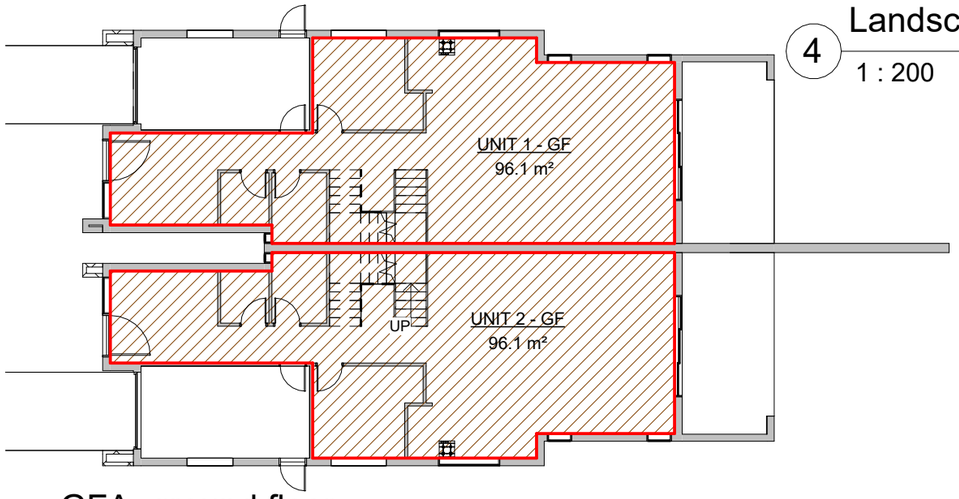
LOT 4 IN DP 29530

drawing

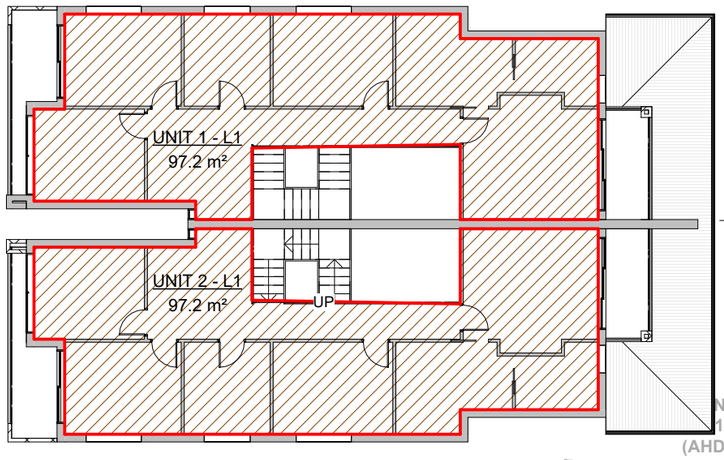
job no **202310**

drawing no **DA01**

scale N/A100 @ A3
plotdate 26/10/2022
revision A

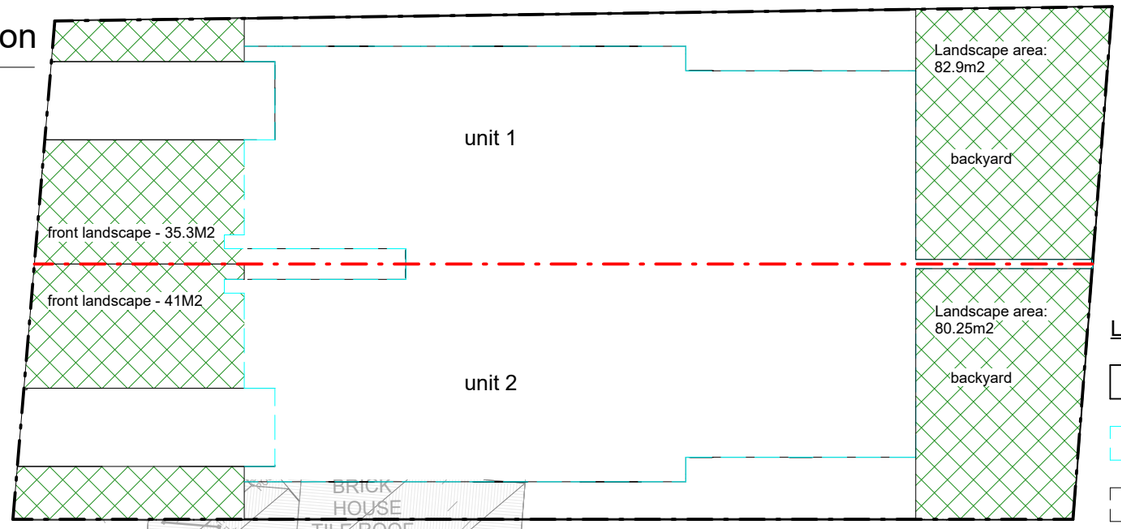


2 GFA_ground floor
1 : 200



3 GFA_L1
1 : 200

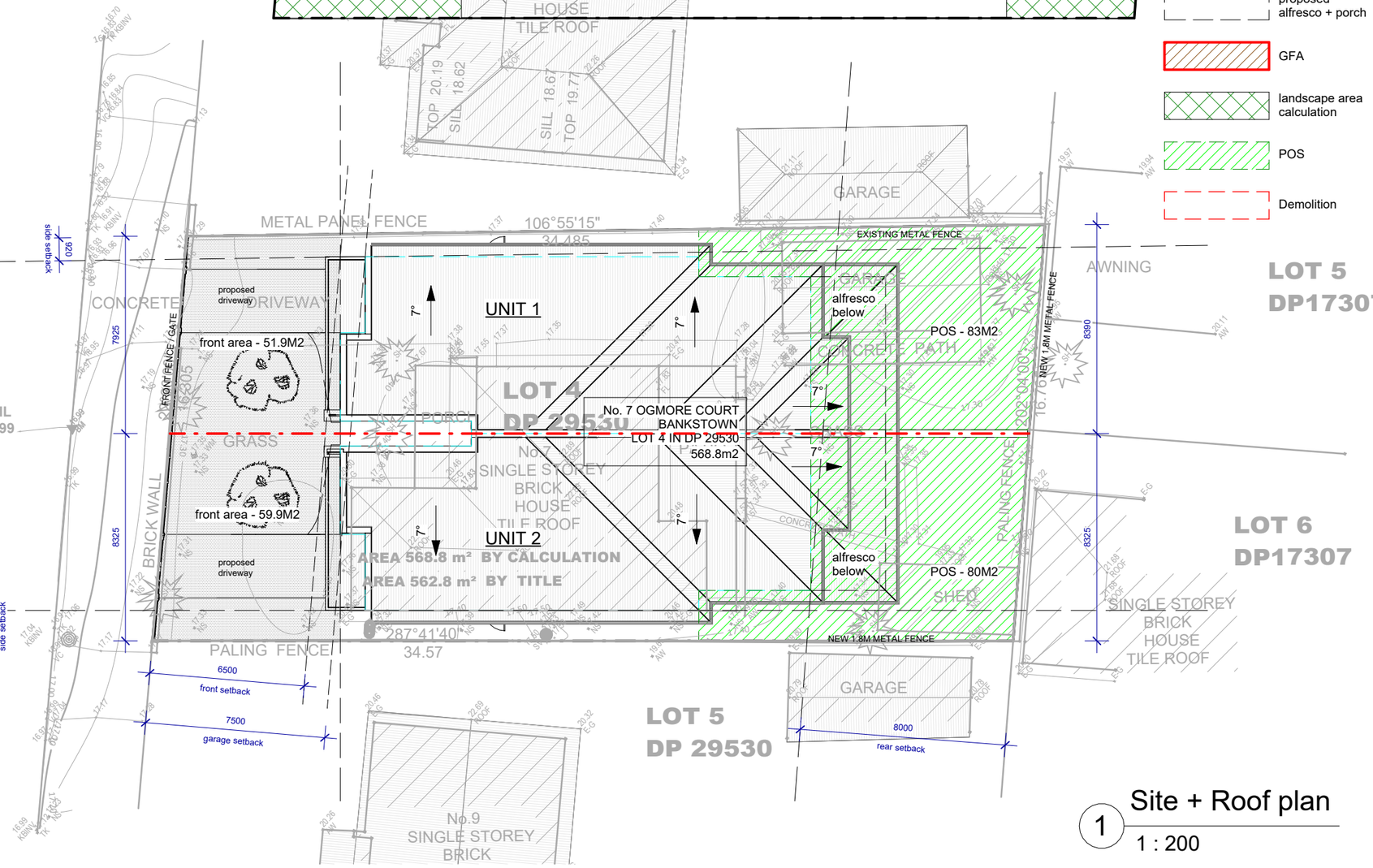
4 Landscape calculation
1 : 200



LEGENDS
- boundary
- proposed building
- proposed alfresco + porch
- GFA
- landscape area calculation
- POS
- Demolition

COMPLIANCE CHECK
Site area: 568.8 m2
Land zonning : R2

	Proposed		DA control		Comply
Subdivision	Unit 1	281.3 M2	250m2 / lot		yes
	Unit 2	287.5 M2			
FSR	GFA -386.6M2	0.68:1	2:1		yes
Side setback	Unit 1	0.9M	Wall < 7M: 0.9M Wall > 7M: 1.5M		yes
	Unit 2	1.2M			
Landscape area	Unit 1	35.3 M2	23.36 M2	45% front to be landscape	yes
	Unit 2	41 M2	27 M2		
	No cut No fill		max cut 600mm max fill 1000mm		yes
POS	Unit 1	83 M2	80 m2 min		yes
	Unit 2	80 M2			



1 Site + Roof plan
1 : 200

0 1 2 3 4 5

issue	rev	date	description
	A	26/10/2022	

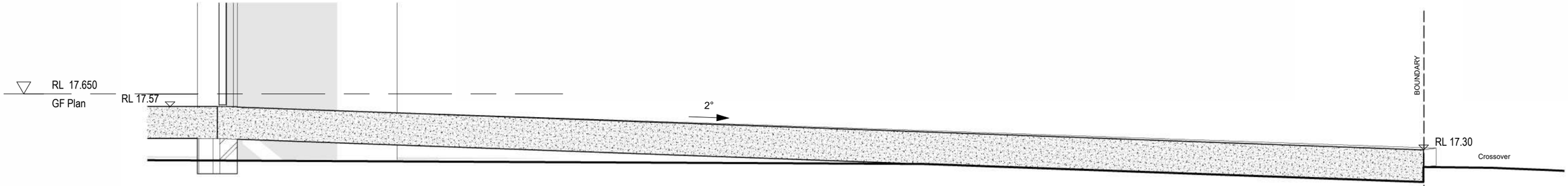
remember: The Contractor shall verify all dimensions & levels on the site. Written dimensions to take preference over scaled dimensions. Documents & design remain the copyright of the Architect & cannot be reproduced without written consent.

about
HARRYDESIGNSTUDIO PTY LTD
ABN 68814733204
bdaa ACCREDITED BUILDING DESIGNER
add 2/ 36 boronia st, kensington, nsw 2033
phone +61 490 334 341
email info@harrydesignstudio.com
website www.harrydesignstudio.com
bdda acc. no 6602

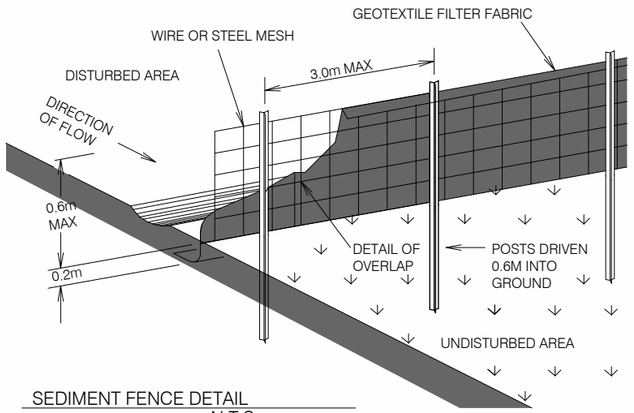
project: No. 7 OGMORE COURT BANKSTOWN
LOT 4 IN DP 29530

drawing: **SITE PLAN**

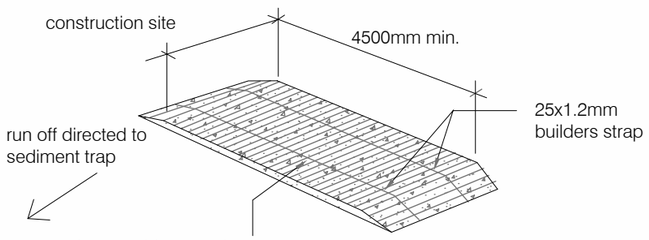
job no / drawing no: **DA02**
scale 1 : 200 @ A3
plotdate 26/10/2022
revision A
202310



2 Driveway section
1 : 25

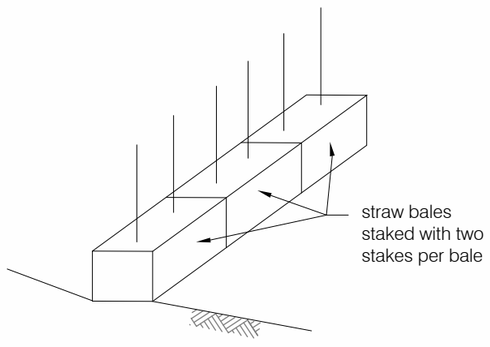


SEDIMENT FENCE DETAIL
N.T.S.



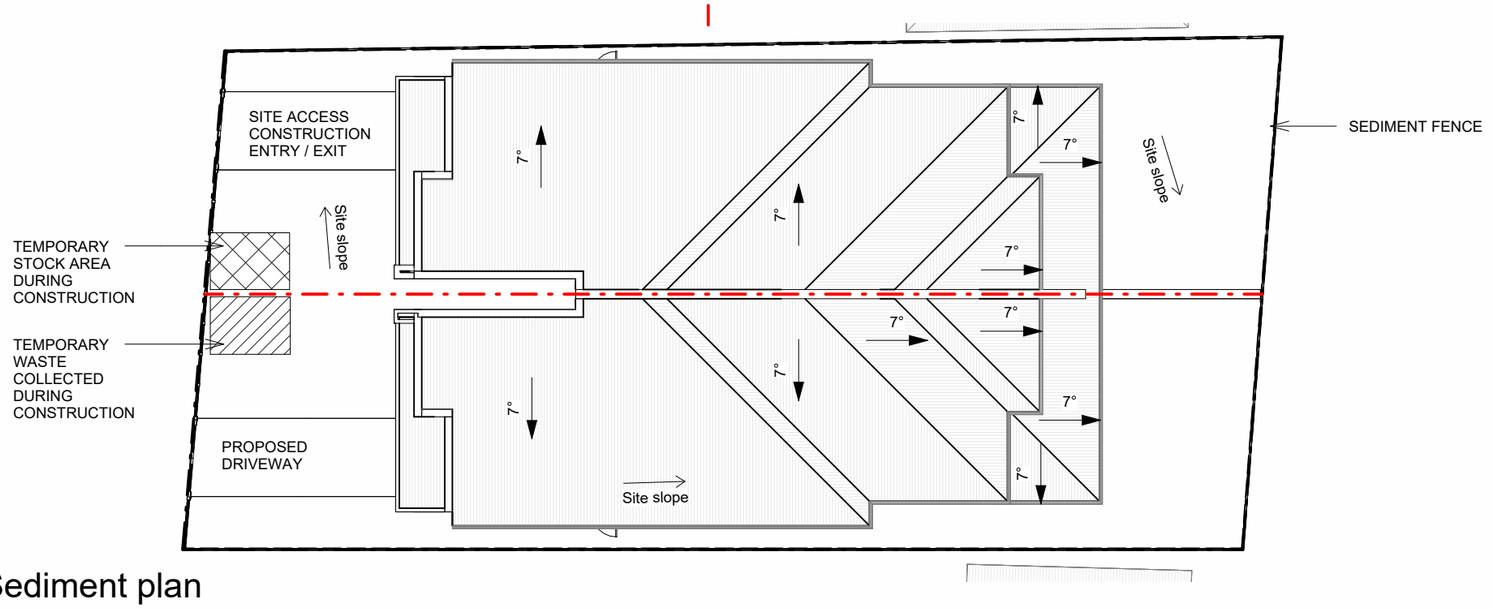
200mm of coarse blue metal aggregate (35-50mm) rolled in position with multiple passes of an excavator and covered with 150 x 75mm hardwood sleepers

CONSTRUCTION ENTRY / EXIT DETAIL
N.T.S.

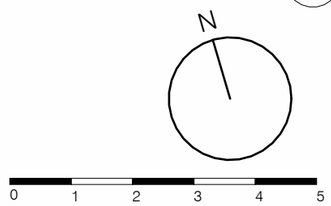


HAY BALE SEDIMENT TRAP
N.T.S.

3 Street elevation
1 : 200



1 Sediment plan
1 : 200



issue

rev	date	description
A	26/10/2022	

remember

The Contractor shall verify all dimensions & levels on the site.
Written dimensions to take preference over scaled dimensions.
Documents & design remain the copyright of the Architect & cannot be reproduced without written consent.

about

HARRYDESIGNSTUDIO PTY LTD
ABN 68814733204
bdaa ACCREDITED BUILDING DESIGNER
add 2/ 36 boronia st, kensington, nsw 2033
phone +61 490 334 341
email info@harrydesignstudio.com
website www.harrydesignstudio.com
bdda acc. no 6602

drawing

SEDIMENT_CONTROL

project

No. 7 OGMORE COURT
BANKSTOWN
LOT 4 IN DP 29530

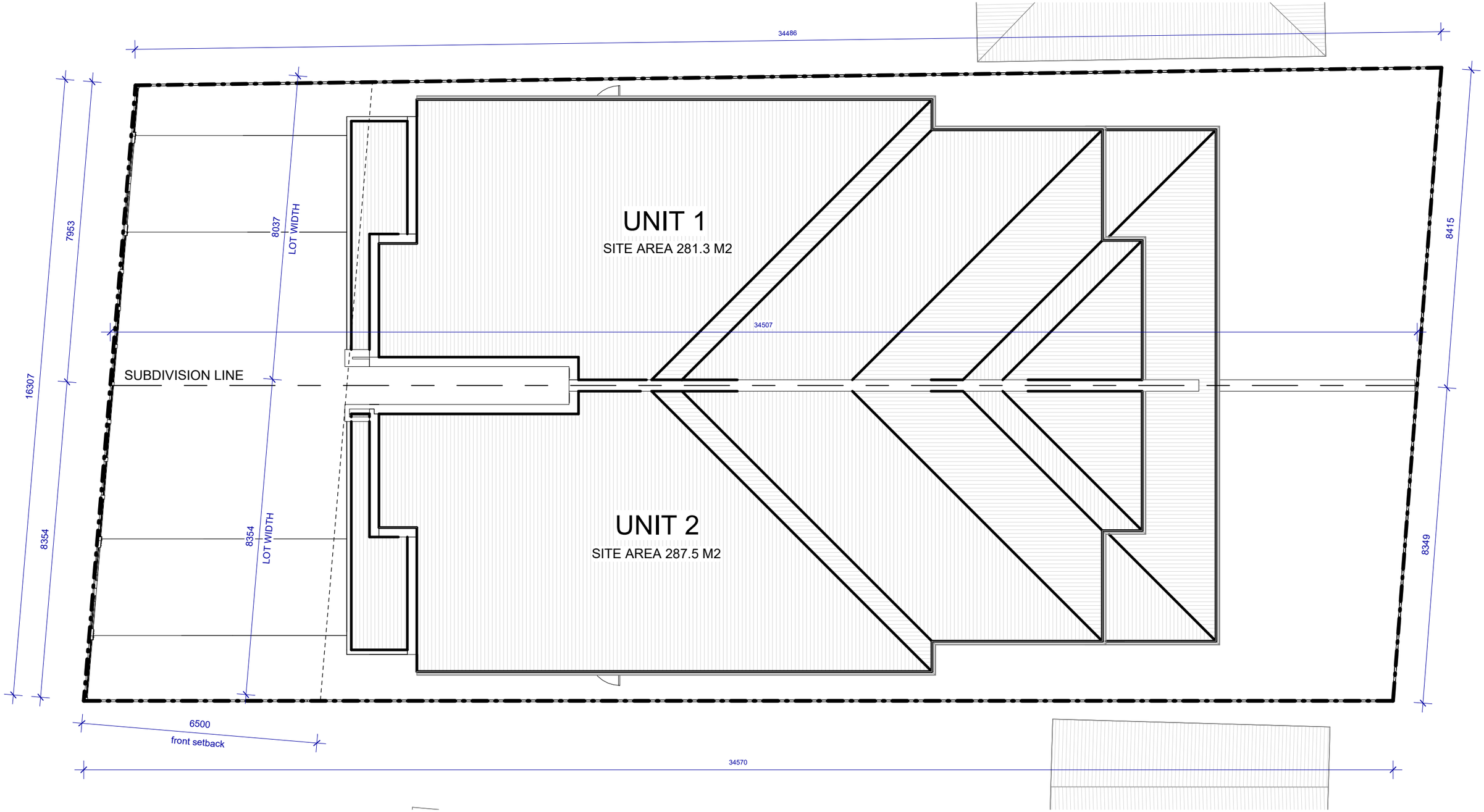
drawing no

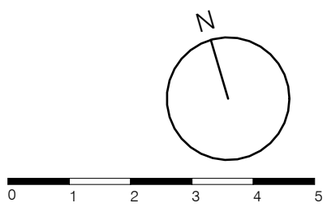
DA03

scale As @ A3
plotdate 26/10/2022
revision A

job no

202310





issue

rev	date	description
A	26/10/2022	

remember

The Contractor shall verify all dimensions & levels on the site.
Written dimensions to take preference over scaled dimensions.
Documents & design remain the copyright of the Architect & cannot be reproduced without written consent.

about

HARRYDESIGNSTUDIO PTY LTD
ABN 68814733204
bdaa ACCREDITED BUILDING DESIGNER
add 2/ 36 boronia st, kensington, nsw 2033
phone +61 490 334 341
email info@harrydesignstudio.com
website www.harrydesignstudio.com
bdda acc. no 6602

project

SUB-DIVISION PLAN

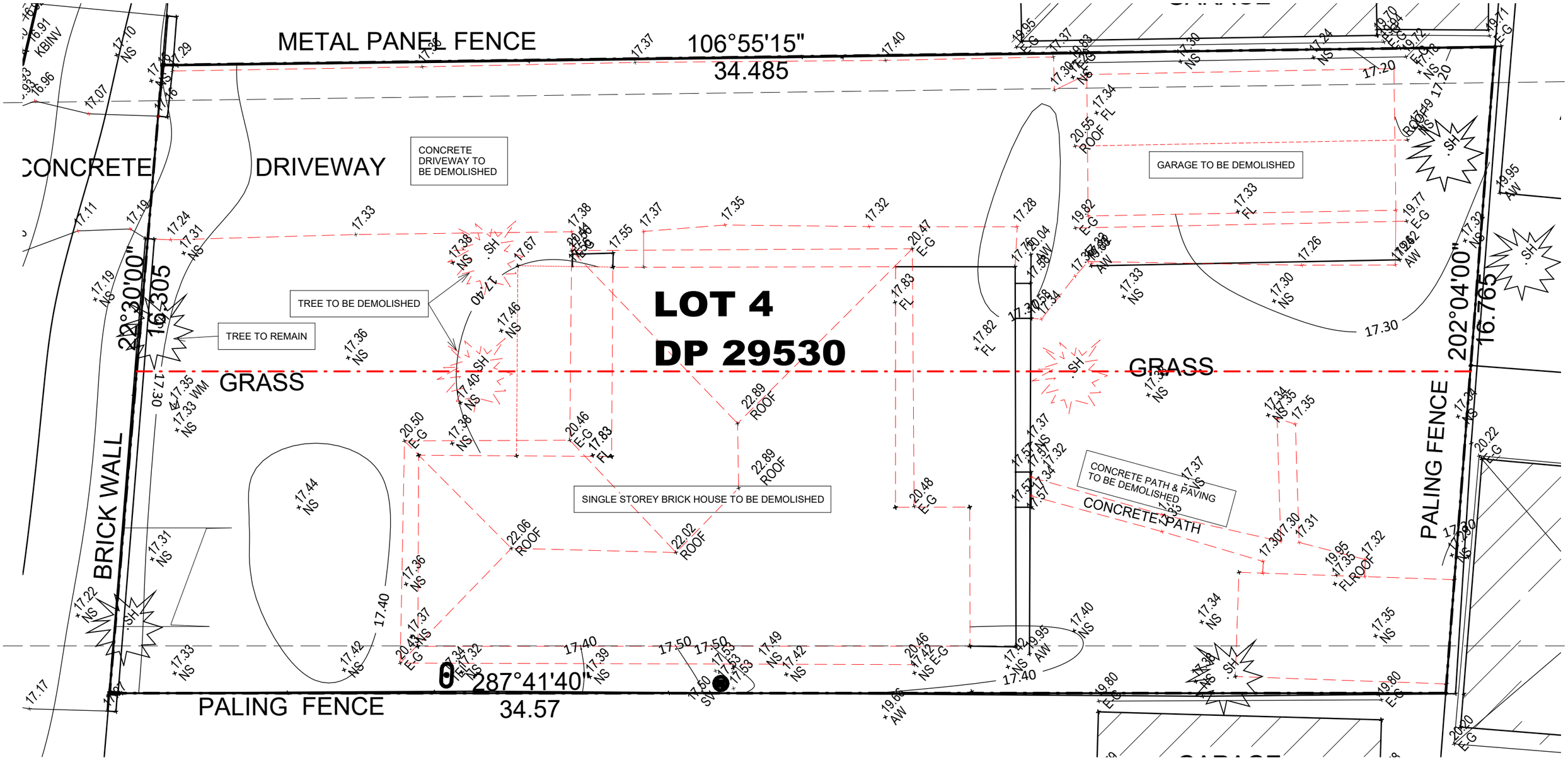
No. 7 OGMORE COURT
BANKSTOWN
LOT 4 IN DP 29530

drawing

job no **202310**

drawing no **DA04**

scale N/A1:100 @ A3
plotdate 26/10/2022
revision A



LEGENDS

Demolition elements

N

0 1 2 3 4 5

issue	rev	date	description
	A	26/10/2022	

remember

The Contractor shall verify all dimensions & levels on the site.
Written dimensions to take preference over scaled dimensions.
Documents & design remain the copyright of the Architect & cannot be reproduced without written consent.

about

HARRYDESIGNSTUDIO PTY LTD
ABN 68814733204

bdaa ACCREDITED BUILDING DESIGNER

add 2/ 36 boronia st, kensington, nsw 2033
phone +61 490 334 341
email info@harrydesignstudio.com
website www.harrydesignstudio.com
bdda acc. no 6602

project

DEMOLITION PLAN

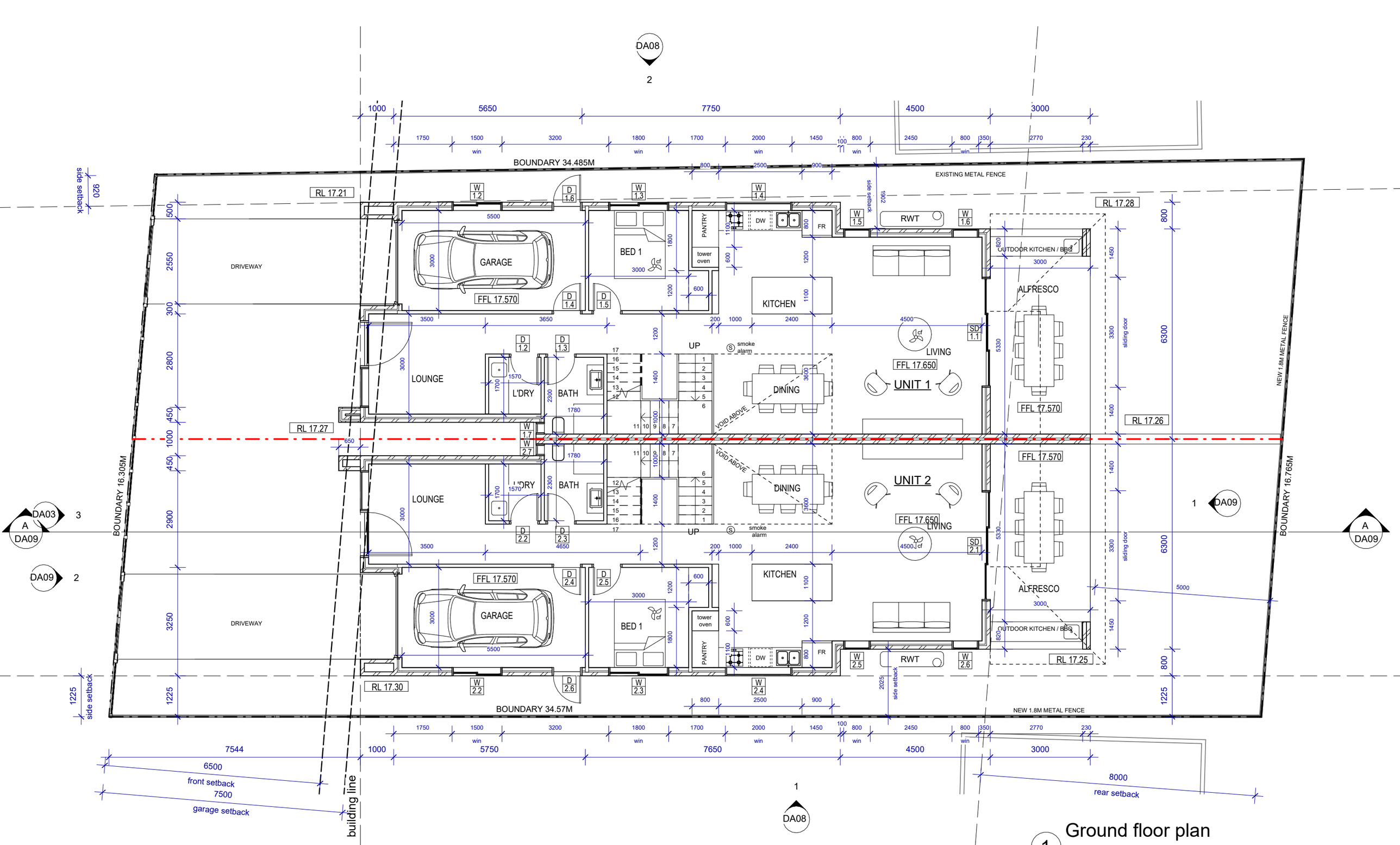
No. 7 OGMORE COURT
BANKSTOWN
LOT 4 IN DP 29530

drawing

job no **202310**

drawing no **DA05**

scale AS A @ A3
plotdate 26/10/2022
revision A



1 Ground floor plan

1 : 100

N

0 1 2 3 4 5

issue	rev	date	description
	A	26/10/2022	

remember

The Contractor shall verify all dimensions & levels on the site.
Written dimensions to take preference over scaled dimensions.
Documents & design remain the copyright of the Architect & cannot be reproduced without written consent.

about

HARRYDESIGNSTUDIO PTY LTD
ABN 68814733204

bdaa ACCREDITED BUILDING DESIGNER

add 2/ 36 boronia st, kensington, nsw 2033
phone +61 490 334 341
email info@harrydesignstudio.com
website www.harrydesignstudio.com
bdda acc. no 6602

project

GROUND FLOOR PLAN

No. 7 OGMORE COURT
BANKSTOWN

LOT 4 IN DP 29530

drawing

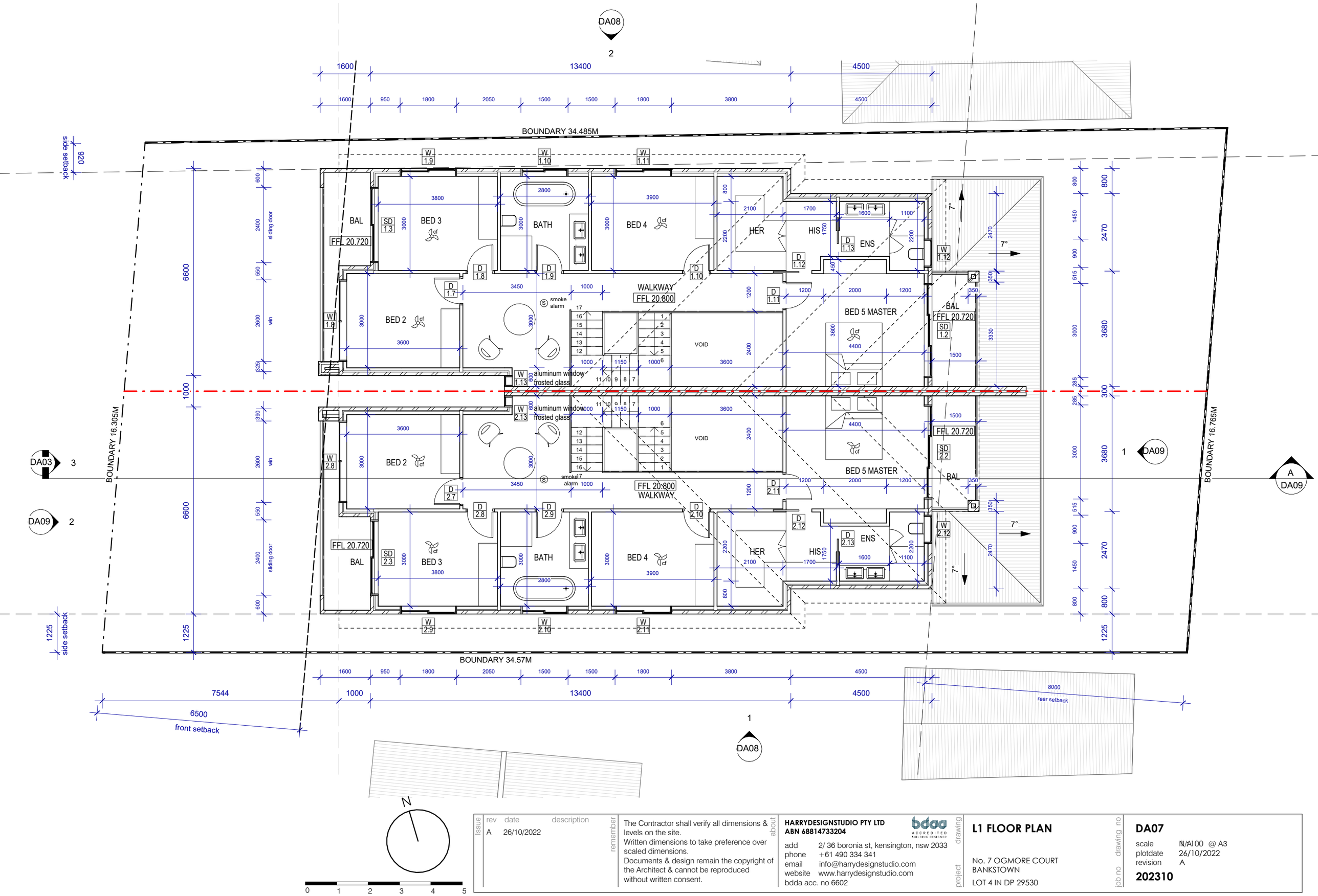
job no

drawing no

DA06

scale 1 : 100 @ A3
plotdate 26/10/2022
revision A

202310



issue

rev	date	description
A	26/10/2022	

remember

The Contractor shall verify all dimensions & levels on the site.
Written dimensions to take preference over scaled dimensions.
Documents & design remain the copyright of the Architect & cannot be reproduced without written consent.

about

HARRYDESIGNSTUDIO PTY LTD
ABN 68814733204
bdaa ACCREDITED BUILDING DESIGNER

add 2/ 36 boronia st, kensington, nsw 2033
phone +61 490 334 341
email info@harrydesignstudio.com
website www.harrydesignstudio.com
bdda acc. no 6602

project

L1 FLOOR PLAN

No. 7 OGMORE COURT
BANKSTOWN
LOT 4 IN DP 29530

drawing

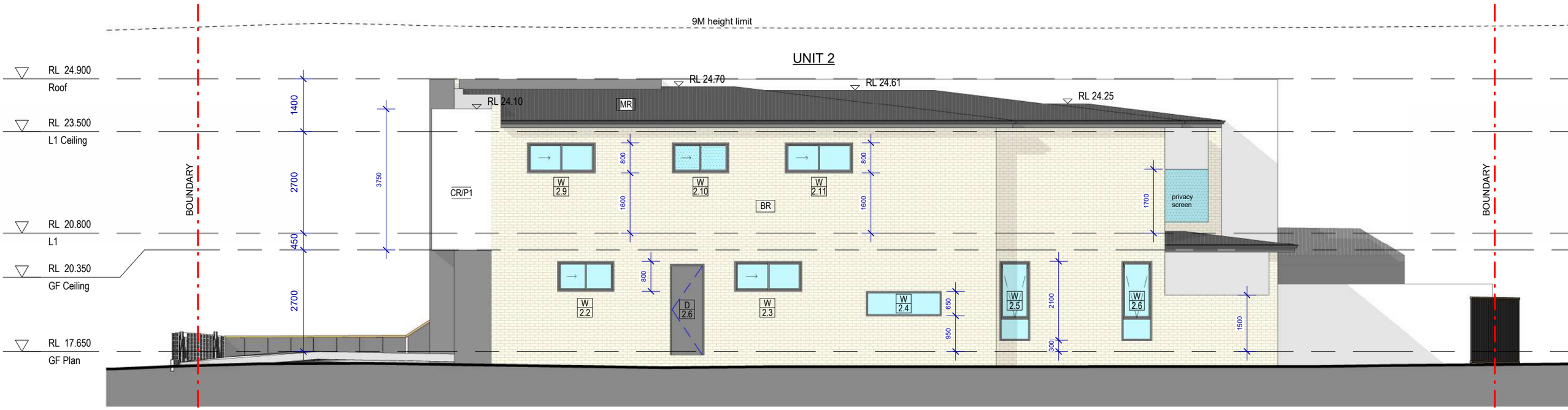
job no

drawing no

DA07

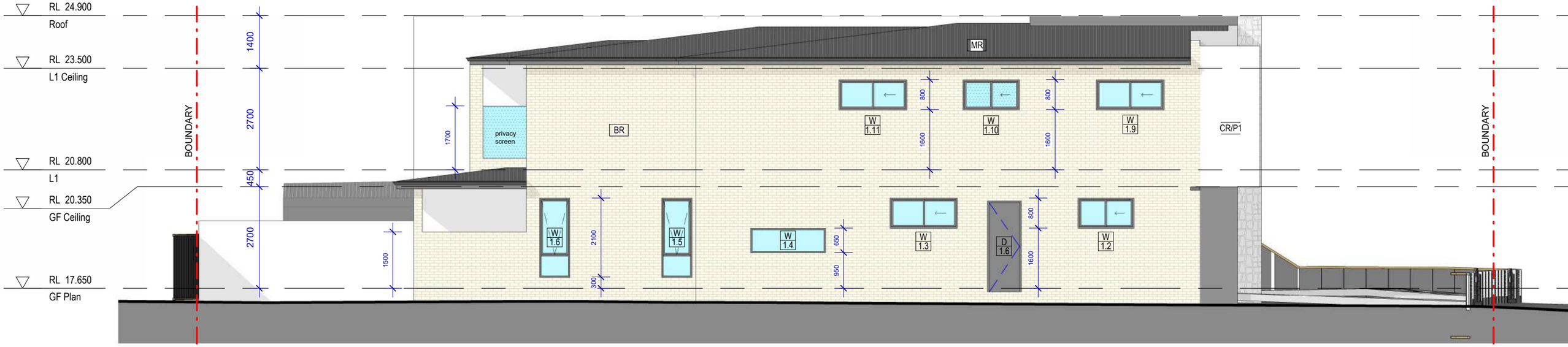
scale N/A100 @ A3
plotdate 26/10/2022
revision A

202310



1 South elevation

1 : 100



2 North elevation

1 : 100

LEGENDS

Demolition elements

0 1 2 3 4 5

issue	rev	date	description
	A	26/10/2022	

remember

The Contractor shall verify all dimensions & levels on the site.
Written dimensions to take preference over scaled dimensions.
Documents & design remain the copyright of the Architect & cannot be reproduced without written consent.

about

HARRYDESIGNSTUDIO PTY LTD
ABN 68814733204
bdaa ACCREDITED BUILDING DESIGNER
add 2/ 36 boronia st, kensington, nsw 2033
phone +61 490 334 341
email info@harrydesignstudio.com
website www.harrydesignstudio.com
bdda acc. no 6602

project

ELEVATIONS

No. 7 OGMORE COURT
BANKSTOWN

LOT 4 IN DP 29530

drawing

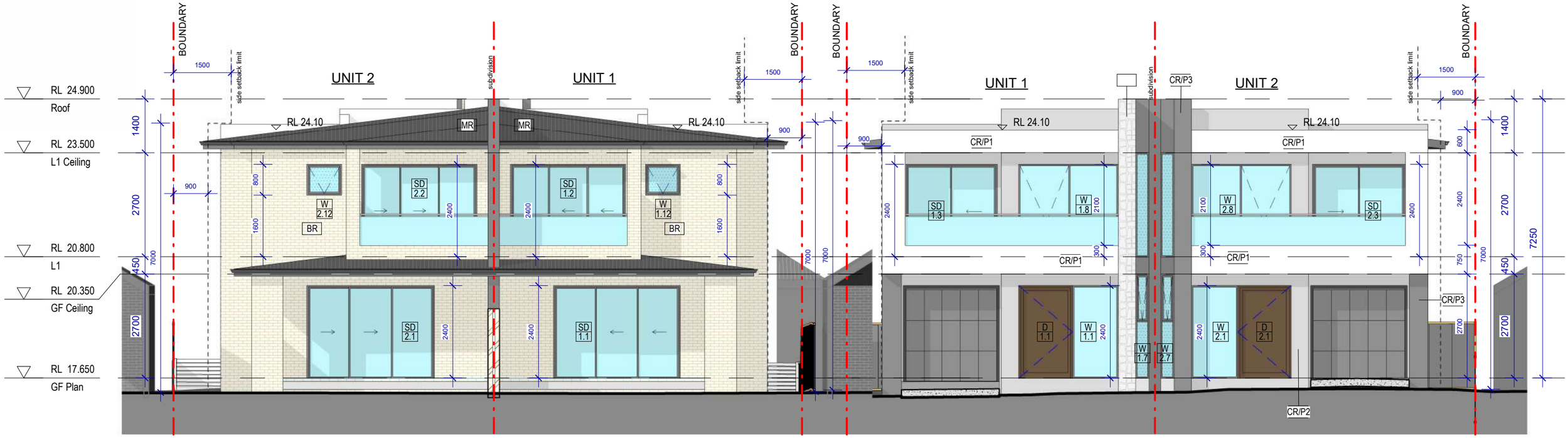
job no

drawing no

DA08

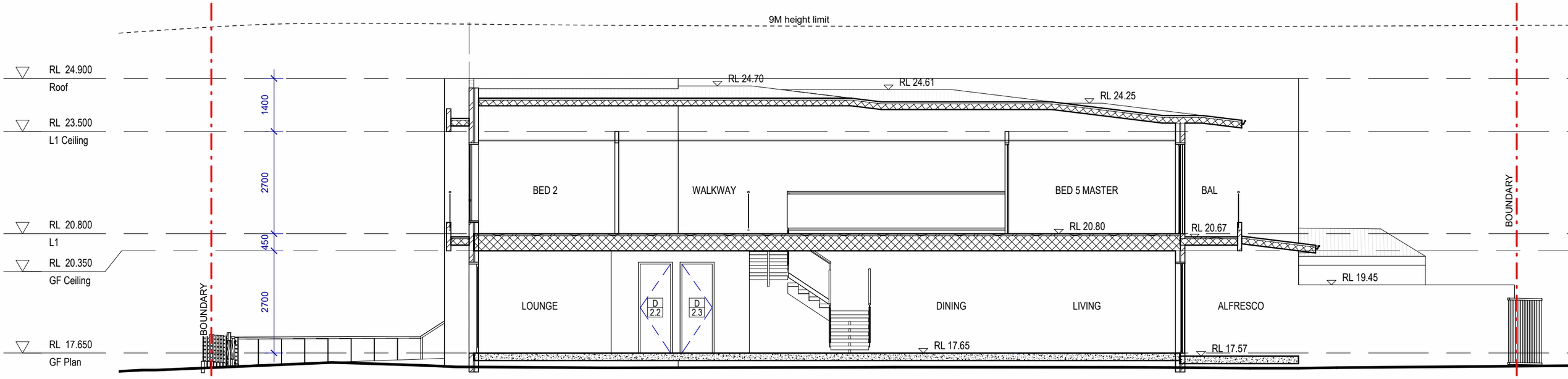
scale As @ A3
plotdate 26/10/2022
revision A

202310



1 East elevation

1 : 100



A Section A

1 : 100

0 1 2 3 4 5

issue

rev	date	description
A	26/10/2022	

remember

The Contractor shall verify all dimensions & levels on the site.
Written dimensions to take preference over scaled dimensions.
Documents & design remain the copyright of the Architect & cannot be reproduced without written consent.

about

HARRYDESIGNSTUDIO PTY LTD
ABN 68814733204
bdaa ACCREDITED BUILDING DESIGNER
add 2/ 36 boronia st, kensington, nsw 2033
phone +61 490 334 341
email info@harrydesignstudio.com
website www.harrydesignstudio.com
bdda acc. no 6602

project

ELEVATIONS + SECTION

No. 7 OGMORE COURT
BANKSTOWN
LOT 4 IN DP 29530

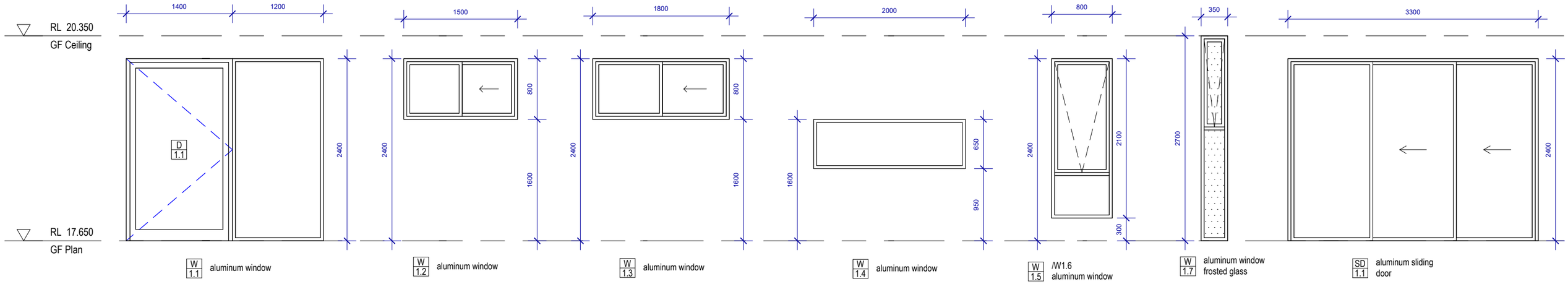
drawing no

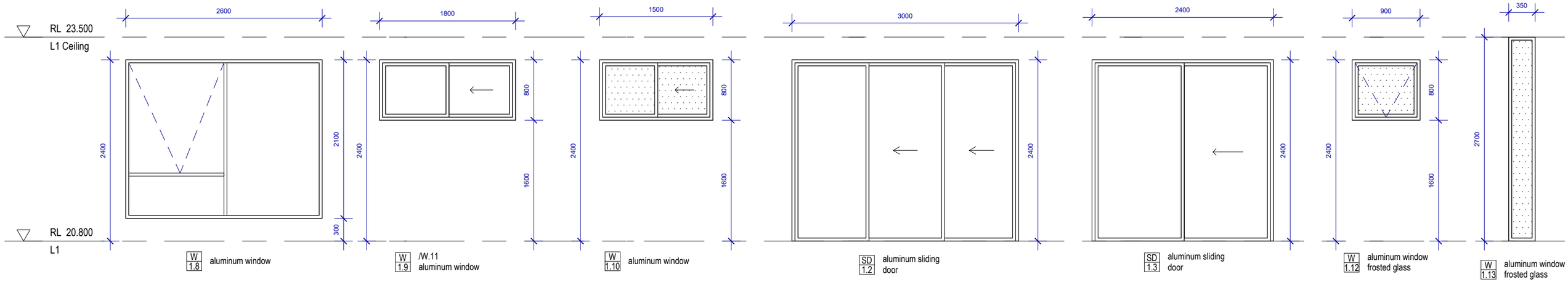
DA09

scale N/A @ A3
plotdate 26/10/2022
revision A

job no

202310





WINDOW SCHEDULE

MARK	SILL	WIDTH	HEIGHT	AREA
SD1.1	0.00 m	3.30 m	2.40 m	7.92 m²
SD1.2	0.00 m	3.00 m	2.40 m	7.20 m²
SD1.3	0.00 m	2.40 m	2.40 m	5.76 m²
SD2.1	0.00 m	3.30 m	2.40 m	7.92 m²
SD2.2	0.00 m	3.00 m	2.40 m	7.20 m²
SD2.3	0.00 m	2.40 m	2.40 m	5.76 m²
W1.1	0.00 m	2.60 m	2.40 m	6.24 m²
W1.2	1.60 m	1.50 m	0.80 m	1.20 m²
W1.3	1.60 m	1.80 m	0.80 m	1.44 m²
W1.4	0.95 m	2.00 m	0.65 m	1.30 m²
W1.5	0.30 m	0.80 m	2.10 m	1.68 m²
W1.6	0.30 m	0.80 m	2.10 m	1.68 m²
W1.7	0.00 m	0.35 m	2.70 m	0.95 m²
W1.8	0.30 m	2.60 m	2.10 m	5.46 m²
W1.9	1.60 m	1.80 m	0.80 m	1.44 m²
W1.10	1.60 m	1.50 m	0.80 m	1.20 m²
W1.11	1.60 m	1.80 m	0.80 m	1.44 m²
W1.12	1.60 m	0.90 m	0.80 m	0.72 m²
W1.13	0.00 m	0.35 m	2.70 m	0.95 m²
W2.1	0.00 m	2.60 m	2.40 m	6.24 m²
W2.2	1.60 m	1.50 m	0.80 m	1.20 m²
W2.3	1.60 m	1.80 m	0.80 m	1.44 m²
W2.4	0.95 m	2.00 m	0.65 m	1.30 m²
W2.5	0.30 m	0.80 m	2.10 m	1.68 m²
W2.6	0.30 m	0.80 m	2.10 m	1.68 m²
W2.7	0.00 m	0.35 m	2.70 m	0.95 m²
W2.8	0.30 m	2.60 m	2.10 m	5.46 m²
W2.9	1.60 m	1.80 m	0.80 m	1.44 m²
W2.10	1.60 m	1.50 m	0.80 m	1.20 m²
W2.11	1.60 m	1.80 m	0.80 m	1.44 m²
W2.12	1.60 m	0.90 m	0.80 m	0.72 m²
W2.13	0.00 m	0.35 m	2.70 m	0.95 m²
TOTAL GLAZING AREA				93.14 m²

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	NOTE
D1.1	1400	2400	1000/920
D1.2	900	2400	900/820
D1.3	900	2400	900/820
D1.4	900	2400	900/820
D1.5	900	2400	900/820
D1.6	900	2400	900/820
D1.7	900	2400	900/820
D1.8	900	2400	900/820
D1.9	900	2400	900/820
D1.10	900	2400	900/820
D1.11	900	2400	900/820
D1.12	820	2400	cavity sliding
D1.13	820	2400	cavity sliding
D2.1	1400	2400	1000/920
D2.2	900	2400	900/820
D2.3	900	2400	900/820
D2.4	900	2400	900/820
D2.5	900	2400	900/820
D2.6	900	2400	900/820
D2.7	900	2400	900/820
D2.8	900	2400	900/820
D2.9	900	2400	900/820
D2.10	900	2400	900/820
D2.11	900	2400	900/820
D2.12	820	2400	cavity sliding
D2.13	820	2400	cavity sliding

NOTE: Unit 2 windows & Doors is mirrored of Unit 1

0 1 2 3 4 5

issue

rev	date	description
A	26/10/2022	

remember

The Contractor shall verify all dimensions & levels on the site.
Written dimensions to take preference over scaled dimensions.
Documents & design remain the copyright of the Architect & cannot be reproduced without written consent.

about

HARRYDESIGNSTUDIO PTY LTD
ABN 68814733204
bdaa ACCREDITED BUILDING DESIGNER
add 2/ 36 boronia st, kensington, nsw 2033
phone +61 490 334 341
email info@harrydesignstudio.com
website www.harrydesignstudio.com
bdda acc. no 6602

project

DOOR &WINDOW SCHEDULE
No. 7 OGMORE COURT
BANKSTOWN
LOT 4 IN DP 29530

drawing

job no **202310**
drawing no **DA10**
scale N/A50 @ A3
plotdate 26/10/2022
revision A

MATERIAL & COLOR FINISHING SCHEDULE

CODE	LOCATION	MATERIAL	COLOR	FINISH
MR	ROOF	METAL ROOF	DARK GREY	N/A
CR/P1	FRONT FACADE	BRICK	WHITE	RENDERED & PAINTED
CR/P2	FRONT FACADE	BRICK	LIGHT GREY	RENDERED & PAINTED
CR/P3	FRONT FACADE	BRICK	DARK GREY	RENDERED & PAINTED
BR	WALL	BRICK	COASTALWHITEHAVEN	N/A
ST	FRONT FACADE	STONE CLADDING	NATURE	N/A
TB	FRONT FACADE	TIMBER	NATURE	N/A
WF	WINDOW FRAME	ALUMINUM	DARK GREY	N/A
WG	WINDOW GLAZING	GLASS	TRANSPARENT	N/A
GD	GARAGE DOOR	METAL	NATURE	N/A

0 1 2 3 4 5

issue

rev	date	description
A	26/10/2022	

remember

The Contractor shall verify all dimensions & levels on the site.
Written dimensions to take preference over scaled dimensions.
Documents & design remain the copyright of the Architect & cannot be reproduced without written consent.

about

HARRYDESIGNSTUDIO PTY LTD
ABN 68814733204
bdaa ACCREDITED BUILDING DESIGNER

add 2/ 36 boronia st, kensington, nsw 2033
phone +61 490 334 341
email info@harrydesignstudio.com
website www.harrydesignstudio.com
bdda acc. no 6602

project

No. 7 OGMORE COURT
BANKSTOWN
LOT 4 IN DP 29530

drawing

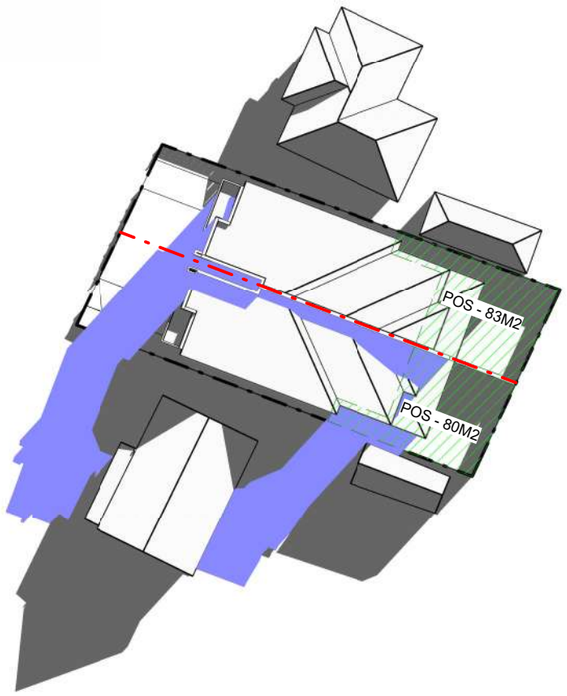
FINISHING SCHEDULE

job no drawing no

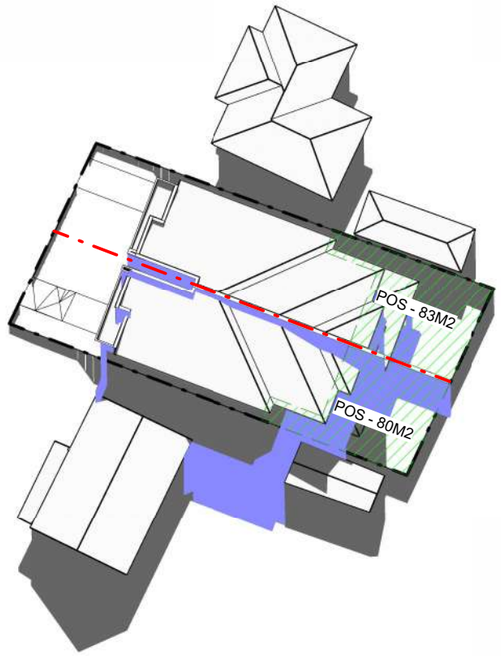
DA11

scale N/A @ A3
plotdate 26/10/2022
revision A

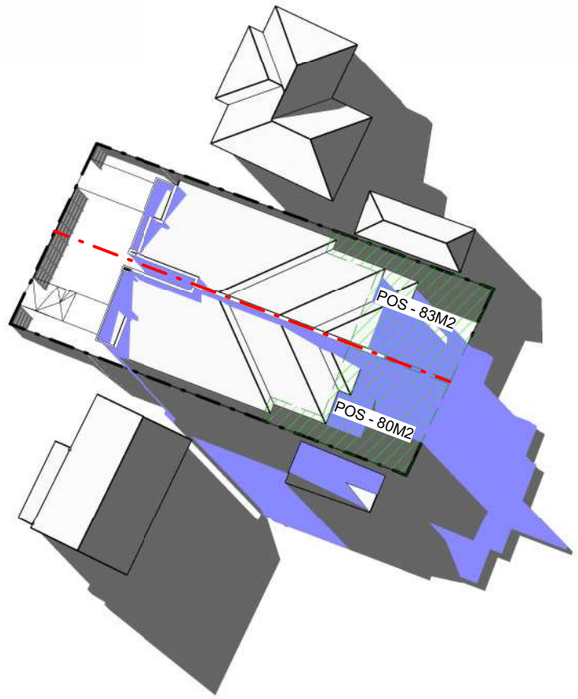
202310



1 21-Jun / 9.00
1 : 500



2 21-Jun / 12.00
1 : 500



3 21-Jun / 15.00
1 : 500

NEW SHADOW

EXISTING SHADOW

PRIVATE OPEN SPACE

N

0 1 2 3 4 5

issue

rev	date	description
A	26/10/2022	

remember

The Contractor shall verify all dimensions & levels on the site.
Written dimensions to take preference over scaled dimensions.
Documents & design remain the copyright of the Architect & cannot be reproduced without written consent.

about

HARRYDESIGNSTUDIO PTY LTD
ABN 68814733204
bdaa ACCREDITED BUILDING DESIGNER

add 2/ 36 boronia st, kensington, nsw 2033
phone +61 490 334 341
email info@harrydesignstudio.com
website www.harrydesignstudio.com
bdda acc. no 6602

project

SHADOW DIAGRAM

No. 7 OGMORE COURT
BANKSTOWN

LOT 4 IN DP 29530

drawing

job no **202310**

drawing no **DA12**

scale N/A @ A3
plotdate 26/10/2022
revision A